

# NEW MIKVEH (RELIGIOUS BATHING) CHABAD OF PEMBROKE PINES

**PROJECT LOCATION:** 18490 JOHNSON ST, PEMBROKE PINES, FL 33029

**PROJECT ISSUANCE:** SITE PLAN PACKAGE - JUNE 14, 2024

**DITMAN ARCHITECTURE PROJECT NUMBER:** 212080

SUBMITTAL FOR:



**CITY OF PEMBROKE PINES**  
601 CITY CENTER WAY  
PEMBROKE PINES, FL 33025  
T 954.450.1060

ARCHITECT



**DITMAN ARCHITECTURE**  
1358 WEST NEWPORT CENTER DRIVE, STE B  
DEERFIELD BEACH, FL 33442  
T 954.379.3015

LANDSCAPE ARCHITECT

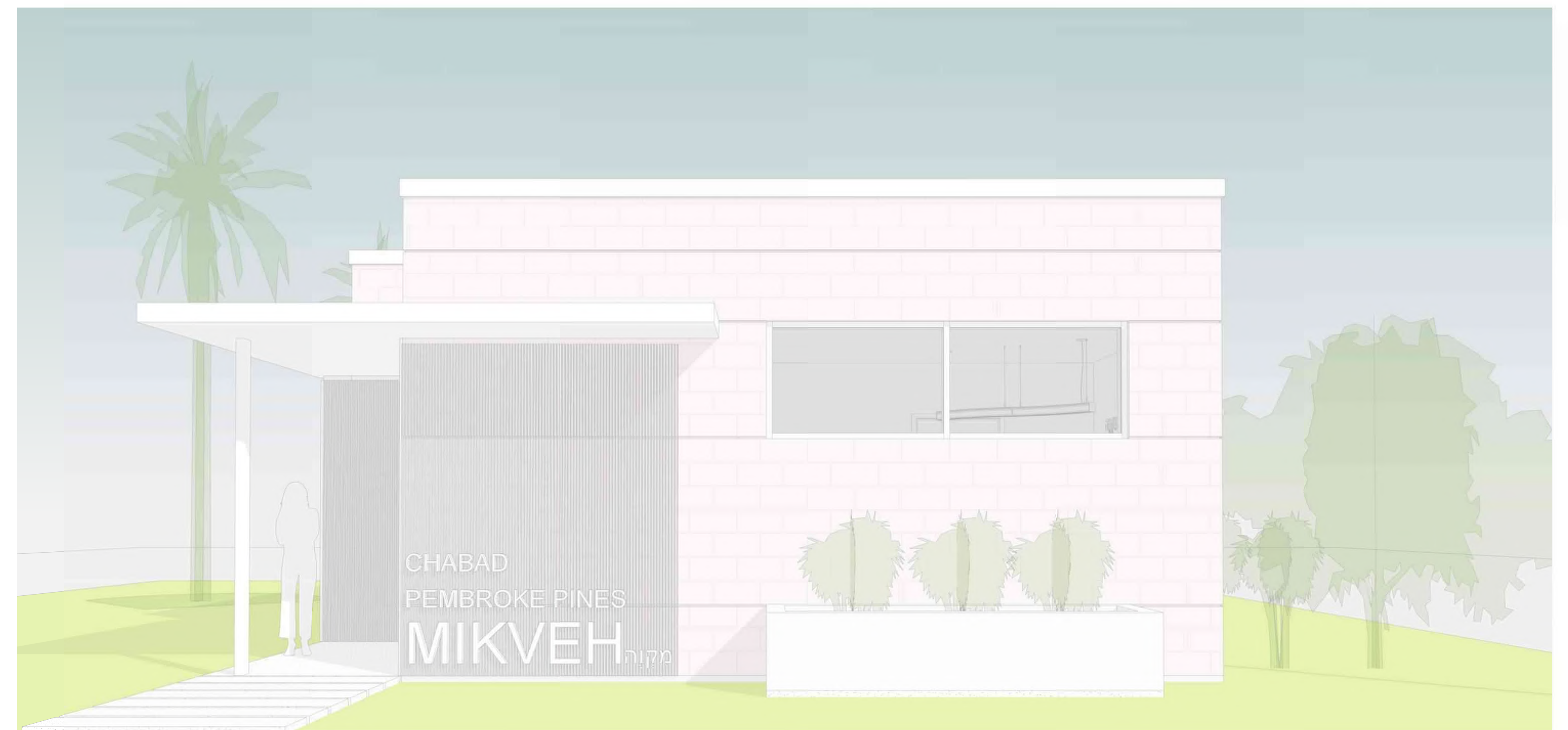


**CABEZAS ALVAREZ LANDSCAPE ARCHITECTS**  
80 NE 5th AVENUE  
DELRAY BEACH, FL 33483  
T 561.515.1275

CIVIL ENGINEER



**ROSS ENGINEERING, INC.**  
3325 SOUTH UNIVERSITY DRIVE, STE 111  
DAVIE, FL 33328  
T 954.318.0624



3D PERSPECTIVE VIEW 01

GENERAL PERMITTING NOTES	
1. TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS COMPLY WITH THE MINIMUM APPLICABLE CODES.	
PROJECT DESCRIPTION	
THIS PROJECT CONSISTS OF CONSTRUCTION OF A NEW 1-STORY BUILDING, APPROXIMATELY 1,315 GSF, UTILIZED FOR RELIGIOUS CEREMONIES.	
BUILDING TO CONSIST OF SPLIT FACE CONCRETE BLOCKS, OPEN WEB STEEL ROOF JOISTS, SINGLE PLY ROOF MEMBRANE OVER INSULATION AND RESIDE ON A SHALLOW FOUNDATION.	

PROJECT DATA		
PROPERTY ID	513911030091	
SITE AREA	98,924 SF (2.27 ACRES)	
BUILDING AREA	1,315 GSF PROPOSED + 7,932 GSF EXISTING = 9,247 GSF TOTAL	
FAR	0.09	
BUILDING COVERAGE	40% ALLOWED / 9.3% PROPOSED	
OPEN SPACE	2,447 SF / 2.5%	
PERVIOUS AREAS	49,617 SF / 50.2%	
IMPERVIOUS AREAS	37,613 SF / 38.0%	
EXISTING/REQUIRED		PROPOSED
LAND USE	COMMERCIAL	COMMERCIAL
ZONING	(PUD) PLANNED UNIT DEVELOPMENT	(PUD) PLANNED UNIT DEVELOPMENT
BUILDING HEIGHT	35'-0"	12'-0" (T.O. FLAT ROOF)
SETBACKS		
FRONT (NORTH)	65'-0" (FIRST 40' LS)	130'-9"
REAR (SOUTH)	15'-0"	140'-0"
STREET SIDE (WEST SIDE)	40'-0" (FIRST 25' LS)	217'-7"
	15'-0"	73'-4"
OFF-STREET PARKING (RELIGIOUS)	79 SPACES PER SEC. 155.605 8.5 SPACES PER 1,000 SF FOR 8,247 SF = 78.2	43 SPACES

SHEET INDEX		A - SITE PLAN PACKAGE BRIDGE
Sheet No	Sheet Name	
GENERAL		
G0.01	COVER SHEET AND INDEX	●
SURVEY		
S	SURVEY	●
CIVIL		
C1	GENERAL NOTES AND SPECIFICATIONS	●
C2	DRAINAGE PLAN	●
C2.1	DRAINAGE DETAILS	●
C3	WATER AND SANITARY SEWER PLAN	●
C5	POLLUTION PREVENTION CONTROL PLAN	●
LANDSCAPE		
L1	TREE DISPOSITION PLAN	●
L2	LANDSCAPE PLAN	●
L3	PLANTING DETAILS AND NOTES	●
IR-1	IRRIGATION PLAN	●
IR-2	IRRIGATION PLAN	●
ARCHITECTURAL		
A1.00	ARCHITECTURAL OVERALL SITE PLAN	●
A2.10	GROUND LEVEL FLOOR PLAN AND ROOF PLAN	●
A6.10	EXTERIOR BUILDING ELEVATIONS	●
A7.10	BUILDING SECTIONS	●
A9.10	BUILDING PERSPECTIVE	●
A9.11	EXTERIOR PERSPECTIVES	●
A9.12	AXONOMETRIC AERIAL VIEW	●
A9.13	SECTION PERSPECTIVES	●
A9.14	SECTION PERSPECTIVES	●



CONTEXT MAP N.T.S.



VICINITY MAP N.T.S.

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST,  
PEMBROKE PINES, FL 33029  
T 954.391.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
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DEERFIELD BEACH, FL 33442  
(O) 954.379.3015 AA0003648

BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST,  
PEMBROKE PINES, FL  
33029

PROFESSIONAL OF RECORD  
**DA**  
STATE OF FLORIDA  
CRISTOPHER M. DITMAN  
ARCHITECT  
AR99197  
04/23/24

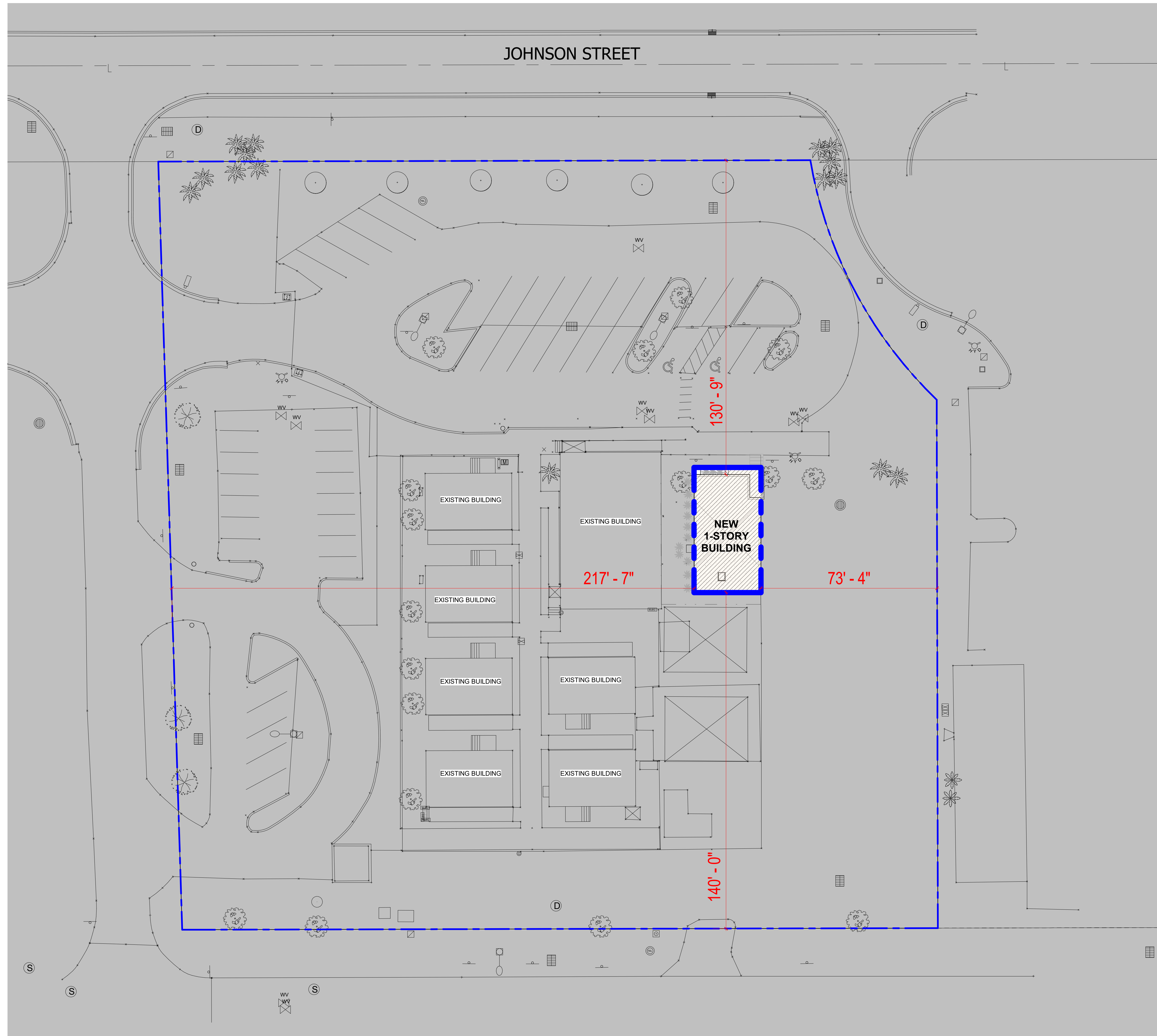
SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 06/14/24

PROJECT NUMBER  
**212080**

SHEET NAME  
COVER SHEET AND  
INDEX

SHEET NUMBER  
**G0.01**

FILE NAME: C:\Users\josef\Documents\212080\_CPF Mikveh\_ARCH\_R23\_josefNAPLX.dwg  
 DATE STAMP: 7/3/2024 4:32:59 PM



ARCHITECTURAL OVERALL SITE PLAN 1" = 20'-0" (1)

**GENERAL SITE PLAN NOTES**

1. FFE OF 0'-0" IN THESE PLANS REF TO CIVIL ELEV XX.XX' NAVD OR XX.XX' NGVD.
2. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO BEFORE EXECUTION OF WORK.
4. DO NOT SCALE DIMENSIONS FROM DWGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
5. REFER TO CIVIL AND LANDSCAPE DWGS FOR ALL INFORMATION REGARDING SITE ELEMENTS INCLUDING BUT NOT LIMITED TO PAVING, GRADING, SITE DRAINAGE, PLANTINGS ECT.
6. REF TO STRUCT, PLUMB & ARCHITECTURAL DWGS FOR SLOPES & ELEV OF FINISHED FLOORS WITHIN THE BLDG FOOTPRINT. REF TO CIVIL FOR SLOPES AND ELEV OUTSIDE THE BLDG FOOTPRINT.
7. REF TO ARCHITECTURE, CIVIL & LANDSCAPE DWGS FOR ALL WORK OUTSIDE THE BLDG ENVELOPE.
8. ALL EXT DOORS, LOUVERS, WINDOWS, & FRAMES SHALL HAVE PRODUCT APPROVALS. LOUVERS SHALL BE WIND-DRIVEN RAIN RESISTANT.
9. REF TO PLUMBING DWGS FOR ALL FIXTURES, RAIN WATER LEADERS, DRAINS & HOSE BIBB CONNECTIONS.
10. REF TO LANDSCAPE AND HARDSCAPE DWGS FOR PLANTINGS AND IRRIGATION.
11. REF TO SURVEY FOR THE IDENTIFICATION OF EXIST STRUCTURES NOT NOTED ON ANY SITE PLANS PROVIDED IN THE CONSTRUCTION DOCUMENTS. ALL DIMENSIONS, GRADE ELEV, AND EXIST COND INFO IS BASED ON THE SURVEY. INFO SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION OR ORDERING MATERIAL. REPORT ANY DISCREPANCY TO THE ARCHITECT AND ENGINEER PRIOR TO CONSTRUCTION.
12. ALL EXIST STRUCTURES SUCH AS, BUT NOT LIMITED TO, EQUIPMENT, UTILITIES, PAVEMENT, AND LANDSCAPE TO REMAIN THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN A MANNER THAT MATCHES OR IMPROVES EXIST CONDITIONS.
13. REF TO PARKING FUNCTIONALITY DWGS FOR PAVEMENT MARKINGS AND SIGNAGE WITHIN THE GARAGE.
14. REF TO CIVIL FOR PAVEMENT MARKINGS AND SIGNAGE OUTSIDE THE BLDG FOOTPRINT.
15. TREATMENT SOIL TREATMENT BENEATH THE BLDG SHALL EXTEND 5 FEET (MIN) BEYOND THE STRUCTURAL FOOTPRINT.
16. HORIZ CONTROL DIMS PROV FOR REF ONLY. COORD ALL DIMS TO LOCATE AND ORIENT THE BLDG WITH THE SURVEY. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.

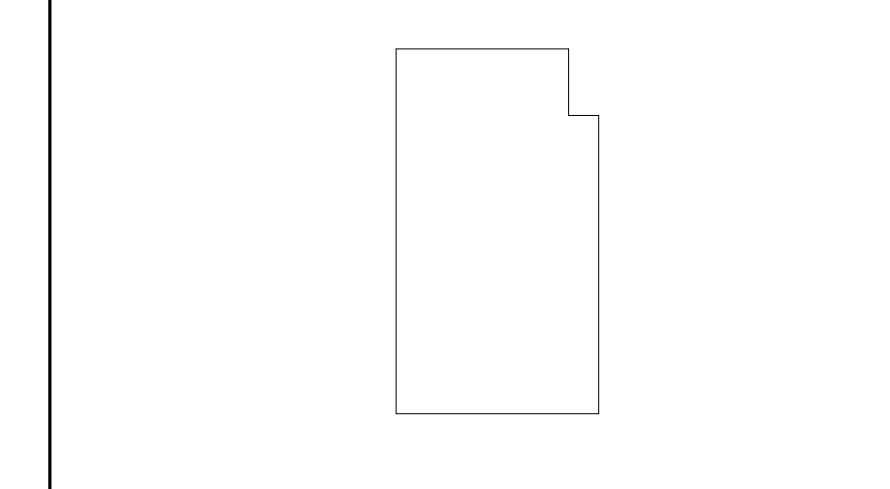
**KEYNOTE LEGEND**

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

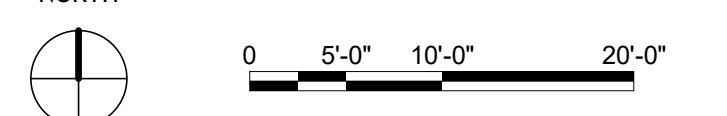
**GRAPHIC LEGEND**



**KEY PLAN**



PLAN NORTH



**CLIENT**  
  
 CHABAD PEMBROKE PINES  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL 33029  
 T 954.391.9999

**ARCHITECT**  
  
**DITMAN ARCHITECTURE**  
 1358 W NEWPORT CENTER DRIVE, STE B  
 DEERFIELD BEACH, FL 33442  
 (305) 954-3793 FAX 305-954-0364

**BUILDER**

**CONSULTANT**

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 NEW MIKVEH  
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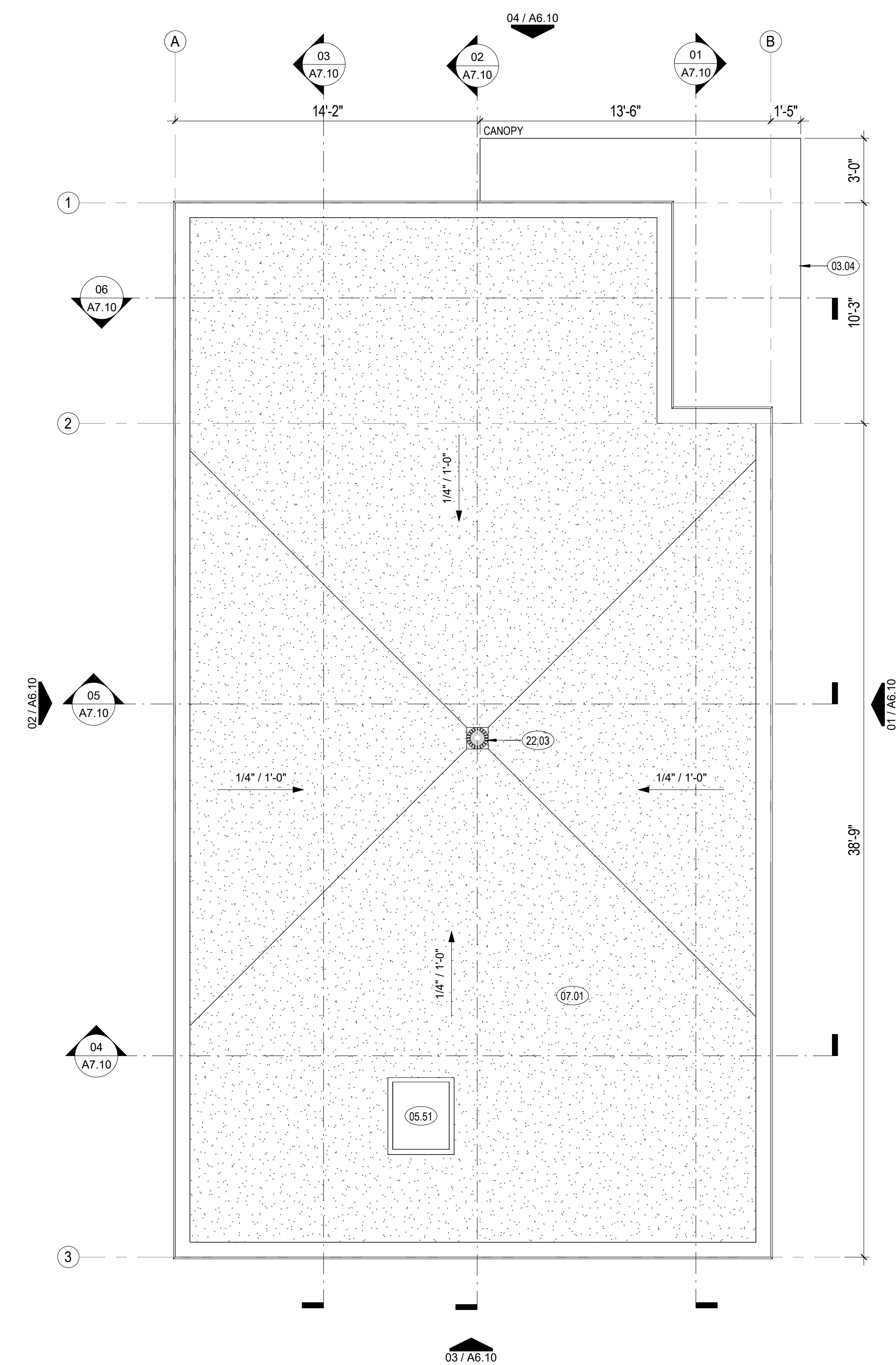
**PROFESSIONAL OF RECORD**  
  
 TO THE BEST OF MY KNOWLEDGE, THE INFORMATION ON THIS SHEET MEETS ALL APPLICABLE REGULATORY LIFE SAFETY AND BUILDING CODE REQUIREMENTS AS TO PROTECT THE LIFE, SAFETY AND WELFARE OF THE PUBLIC.  
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**SUBMITTAL HISTORY**  
 A SITE PLAN PACKAGE 08/14/24

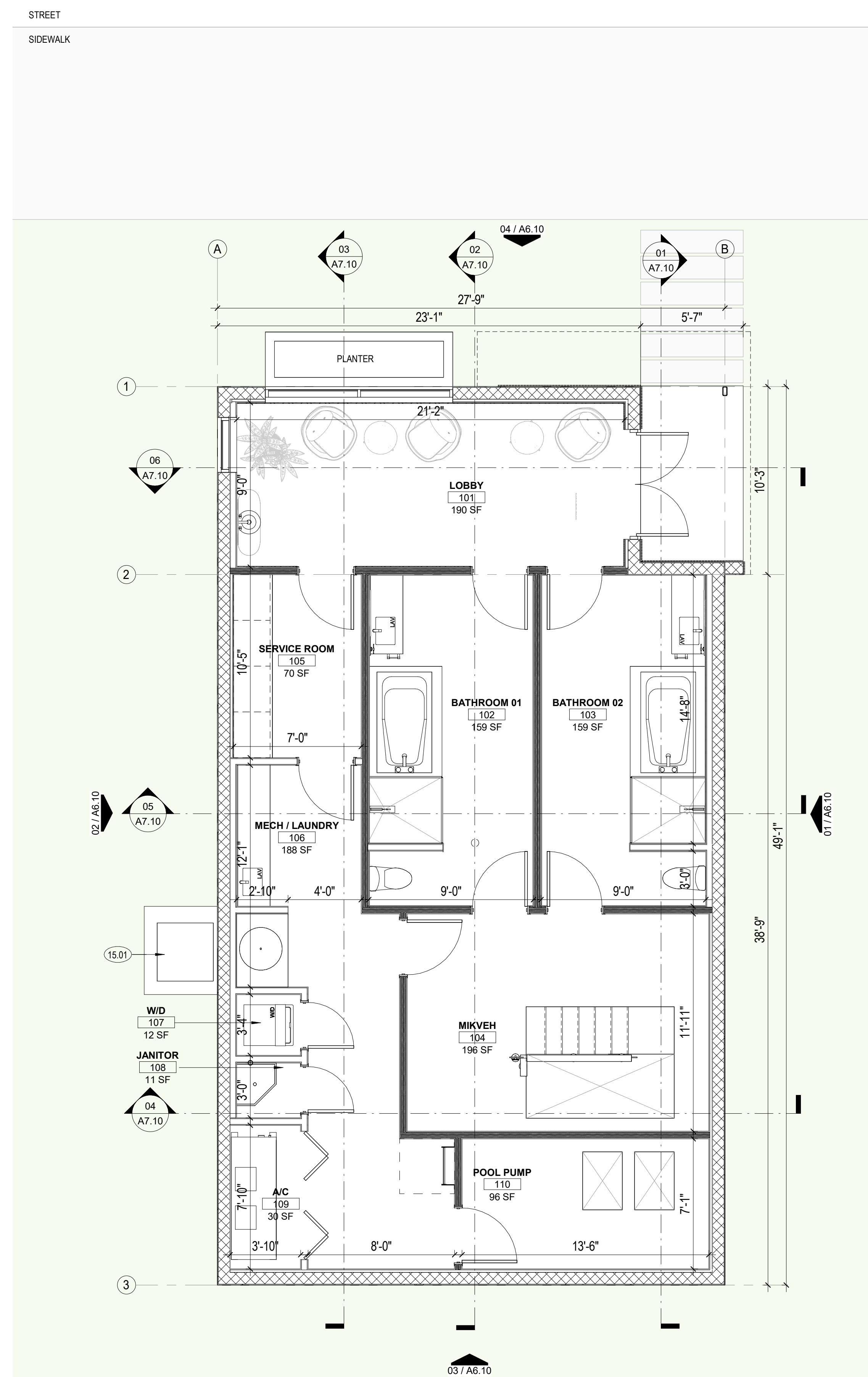
**PROJECT NUMBER**  
 212080

**SHEET NAME**  
 ARCHITECTURAL  
 OVERALL SITE PLAN

**SHEET NUMBER**  
 A1.00



ROOF PLAN 1/4" = 1'-0" (02)



GROUND LEVEL FLOOR PLAN 1/4" = 1'-0" (01)

GENERAL PLAN NOTES

- ROOM AND DOOR REFERENCE NUMBERS ARE FOR CONSTRUCTION COORDINATION ONLY. CONTRACTOR SHALL COORDINATE WITH OWNER FOR FINAL ROOM & DOOR IDENTIFICATION.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
- ALL DIMENSIONS ARE TO FACE OF STUD. GRID LINES AND FACE OF MASONRY INFILL WALL UNLESS OTHERWISE NOTED TO FACE OF WALL ASSEMBLY UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFO BEFORE EXECUTION OF WORK.
- REFER TO PARTITION TYPE SCHEDULE FOR ADDITIONAL INFORMATION.
- ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
- CONTRACTOR SHALL FIELD COORDINATE LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALLATION OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FIRE RETARDANT TREATED (IF R.T.).
- PROVIDE IN-WALL REINFORCEMENT FOR ALL WALL MOUNTED FURNITURE AND EQUIPMENT AS REQUIRED.
- ALL INTERIOR PARTITIONS OF THE EXTERIOR ENVELOPE ARE TYPE F90 SERIES UNLESS OTHERWISE NOTED.
- ALL INTERIOR PARTITIONS ARE TYPE A230 UNLESS OTHERWISE NOTED.
- ALL CORRIDOR PARTITIONS ARE TYPE B431 UNLESS OTHERWISE NOTED.
- ARCHITECTURAL 0'-0" DATUM REPRESENTS 10.50' NAVD29. GC SHALL VERIFY W/ FINAL CIVIL PLANS.

PLAN GRAPHICS LEGEND

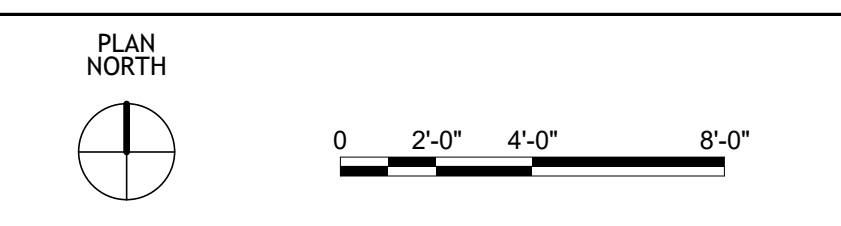
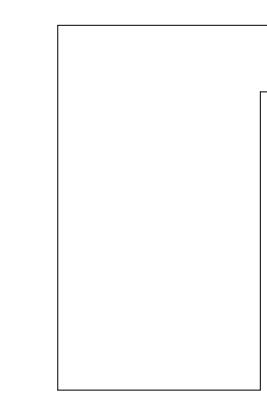
- INDICATES MIN 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR MIN 1/8" SLOPE AT GRADE AND BALCONIES.

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION.

No.	DESCRIPTION
03.04	8" THK REINF CONC SLAB AT SELECT LOCATIONS ON ROOF. REF TO STRUCT DWGS FOR FURTHER INFO.
05.51	FIXED PTD STEEL ROOF ACCESS. PROVIDE ENG SHOP DRAWINGS.
07.01	FULLY ADHERED WHITE TPO ROOF SYS W/ 60 MIL MEMBRANE (CARLISLE SYNTEC SURE-WELD FLEECE BACK SINGLE PLY TPO OR APP EQ) OVER LWIC W/ EPS BOARD TO ACHIEVE MINIMUM R-19 AT LOWEST POINT OF ROOF. INSTALL IN ACCORD W/ PROE APP. RUN MEMBRANE UP ENTIRE PARAPET AND UNDER CAP FLASHING.
15.01	PAD-MOUNTED MECH EQUIP UNIT CONDENSERS. PROV MIN CLEARANCE PER MECH DWGS. PROV PROE APP FOR ALL STANDS. REF TO MECH DWGS FOR FURTHER INFO.
22.03	ROOF DRAIN AND RWL ROUTED TO STORM WATER MANAGEMENT SYS. REF TO PLUMB DWGS FOR SIZE, RWL ROUTING, AND TERM WRAP ALL RWL WITH ACOUSTIC PIPE LAGGING. MINIMUM OF 15' FT FULL LENGTH OF PIPE AT ALL LOCATIONS WITHIN UNITS OR COMMON AREA SPACES.

KEY PLAN



CLIENT  
**CHABAD**  
 PEMBROKE PINES  
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 18490 JOHNSON ST.  
 PEMBROKE PINES, FL 33029  
 T 954.391.9999

ARCHITECT  
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**DITMAN**  
 ARCHITECTURE  
 1358 W NEWPORT CENTER DRIVE, STE B  
 DEERFIELD BEACH, FL 33442  
 (305) 954-3793 FAX 305-954-0364

CONTRACTOR  
 (Blank space for contractor information)

CONSULTANT  
 (Blank space for consultant information)

PROJECT TITLE  
 NEW MIKVEH  
 (RELIGIOUS BATHING)  
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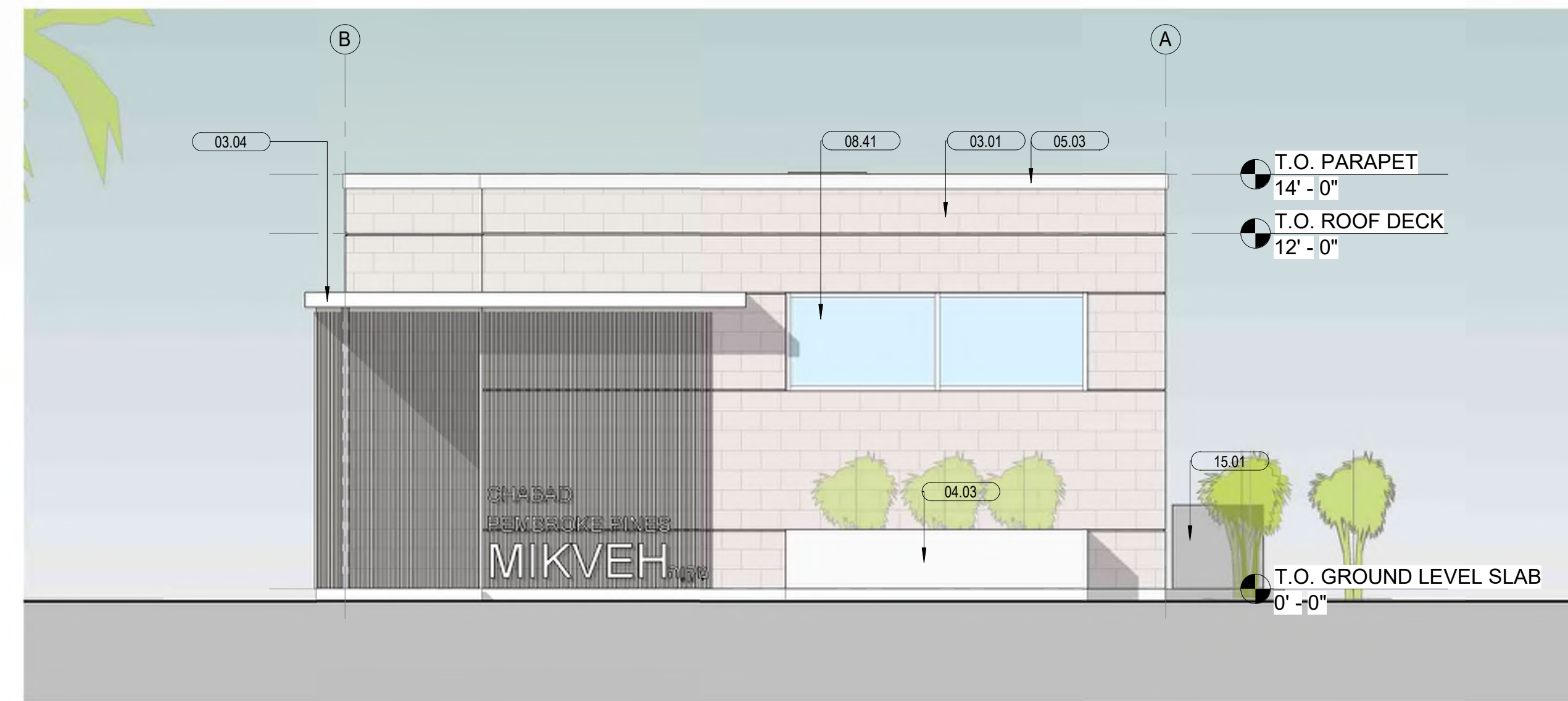
PROFESSIONAL OF RECORD  
  
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SUBMITTAL HISTORY  
 A SITE PLAN PACKAGE 08/14/24

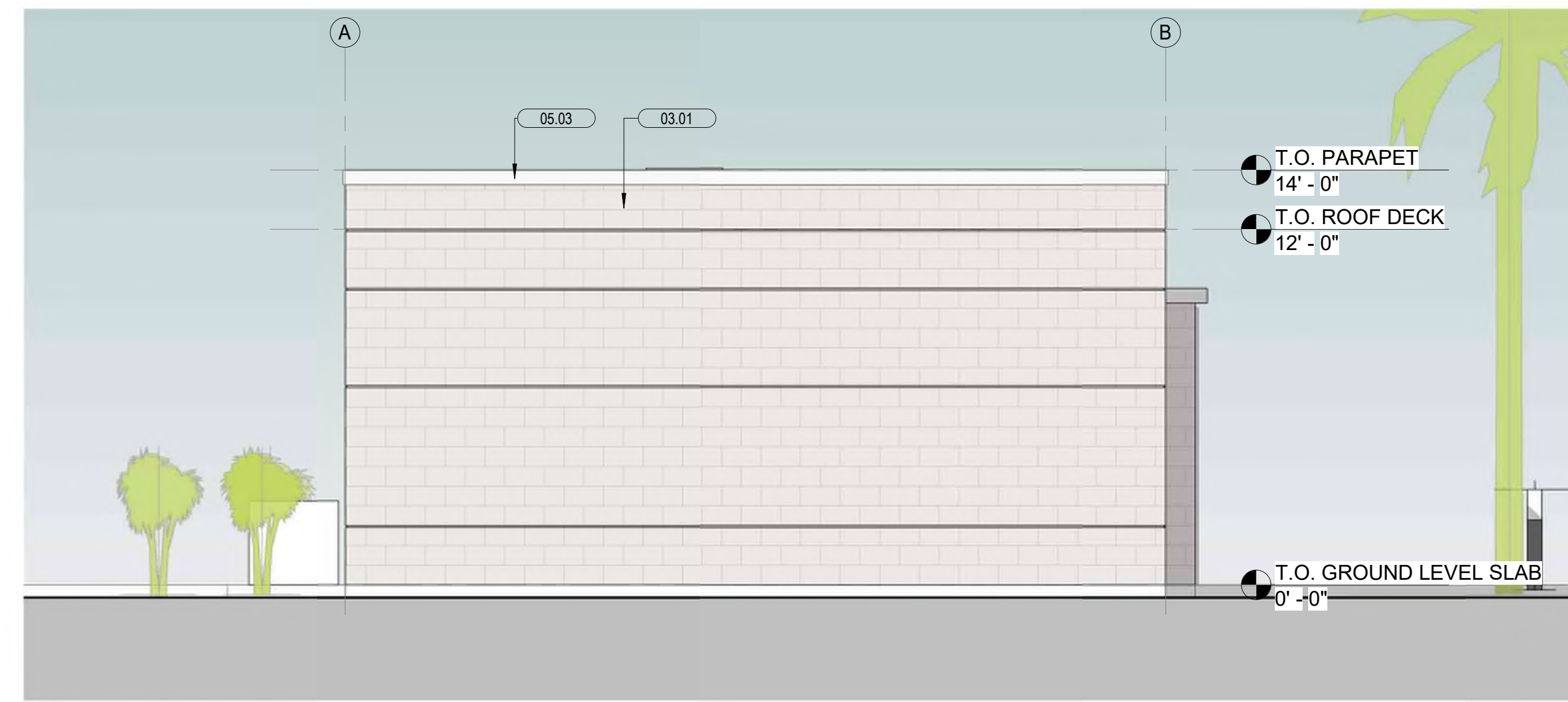
PROJECT NUMBER  
**212080**

SHEET NAME  
 GROUND LEVEL  
 FLOOR PLAN AND  
 ROOF PLAN

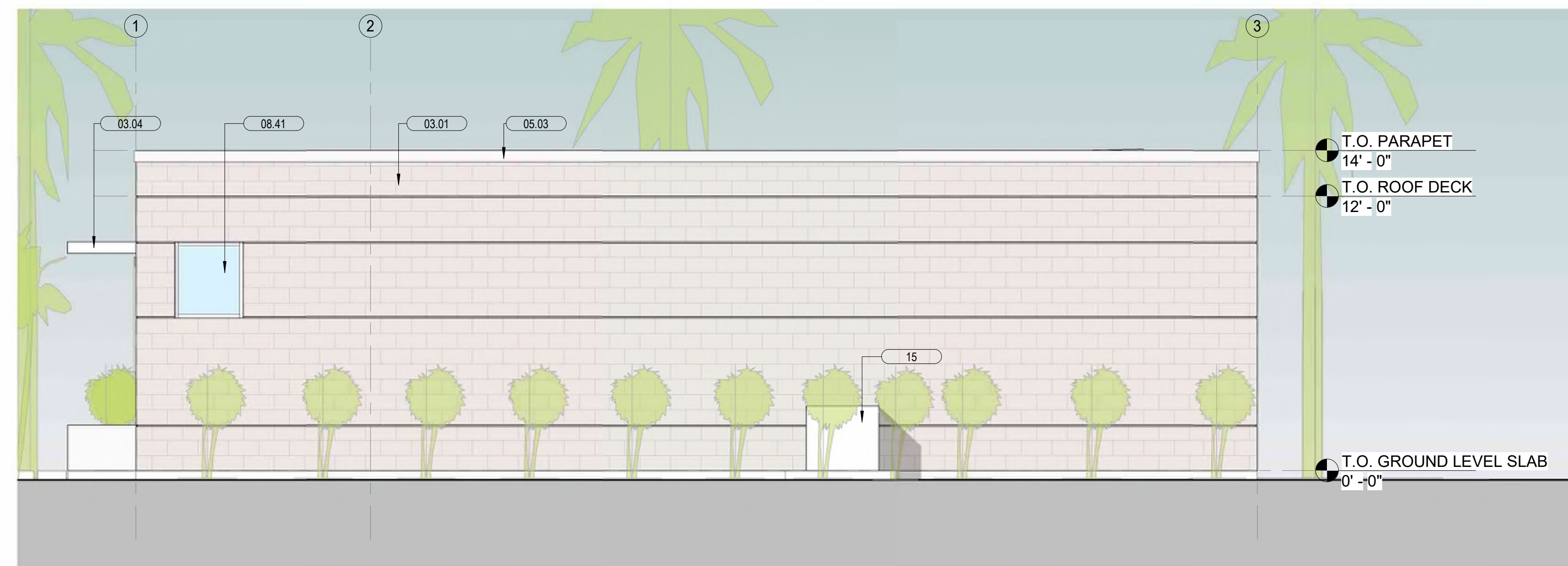
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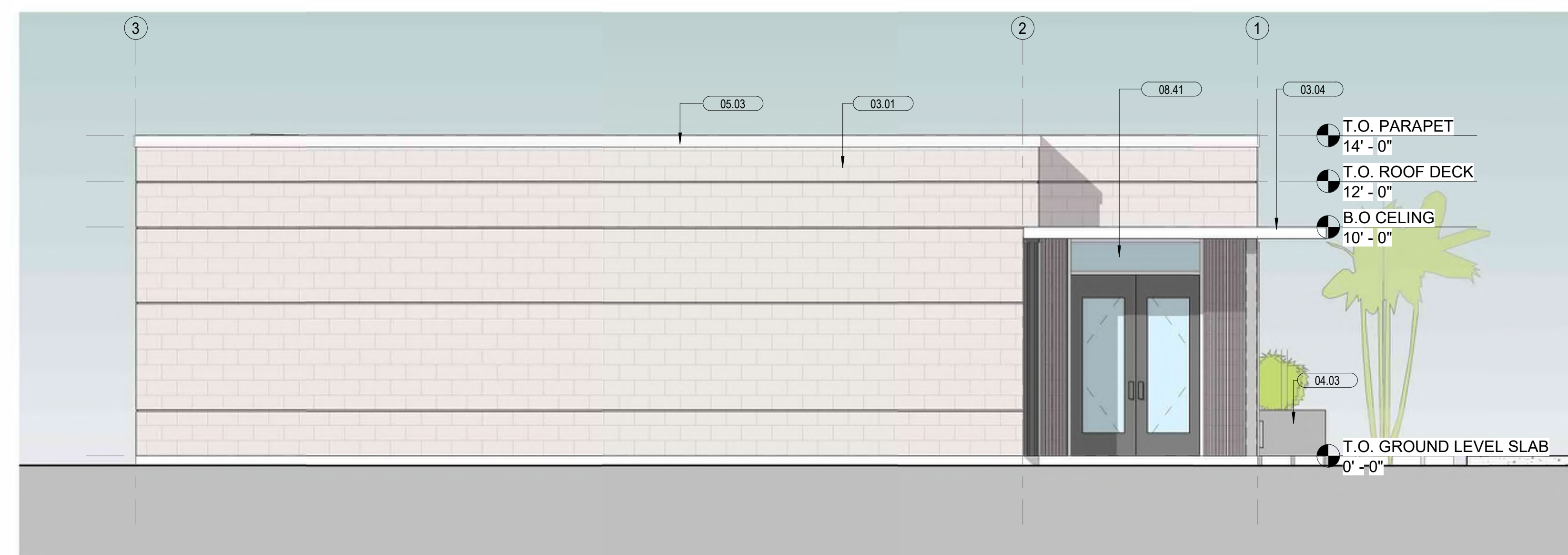
Exterior Elevation\_North 1/4" = 1'-0" 04



Exterior Elevation\_South 1/4" = 1'-0" 03



Exterior Elevation\_West 1/4" = 1'-0" 02



Exterior Elevation\_East 1/4" = 1'-0" 01

**GEN. EXT. ELEVATION NOTES**

- REFER TO LIFE SAFETY PLANS FOR ALL CODE REQS RELATED TO WALL RATINGS, FIRE ALARM, FIRE PROTECTION SYSTEM, AND LOCATION OF FIRE EXTINGUISHER CABINETS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
- CONTRACTOR SHALL FIELD COORD LOCATIONS, SIZE AND TYPE OF BLOCKING FOR INSTALL OF SIGNAGE, PLUMBING FIXT, MILLWORK, ETC. ALL CONCEALED W/D SHALL BE FRIT.
- ALL SHAFTS PENETRATING SLAB SHALL BE RATED 2HR.
- ALL ROOF SLOPES SHALL BE 1/4" PER FOOT (U.N.O).
- VERIFY ALL EXT. FT COLORS WITH OWNER PRIOR TO PURCHASE.
- STUCCO CONTROL JOINTS (CJ) SHOWN FOR ARCHITECTURAL PURPOSES. PROVIDE ADDITIONAL CONTROL JOINTS AS REQUIRED NOT EXCEEDING AREA LIMITATIONS AND MAXIMUM HEIGHT / LENGTH OF STUCCO SURFACES AS SPECIFIED. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- FINISHES, TRIM, DECORATIVE ELEMENTS ETC. SHALL WRAP ALL ELEVATIONS OF WALLS, COLUMNS ETC. WHEN ALL ELEVATIONS OF ARCHITECTURAL FEATURES ARE NOT PROVIDED IN THE CONSTRUCTION DOCUMENTS.
- PRESSURE WASH ALL EXIST STUCCO FINISHES. PAINT ALL SURFACES EXPOSED TO VIEW.

**GRAPHICS LEGEND**

- INDICATES 1/4" PER FOOT SLOPE TO DRAIN AT ROOF OR 2% SLOPE TO DRAIN AT EXTERIOR WALKWAYS
- CONTROL JOINT

**KEYNOTE LEGEND**

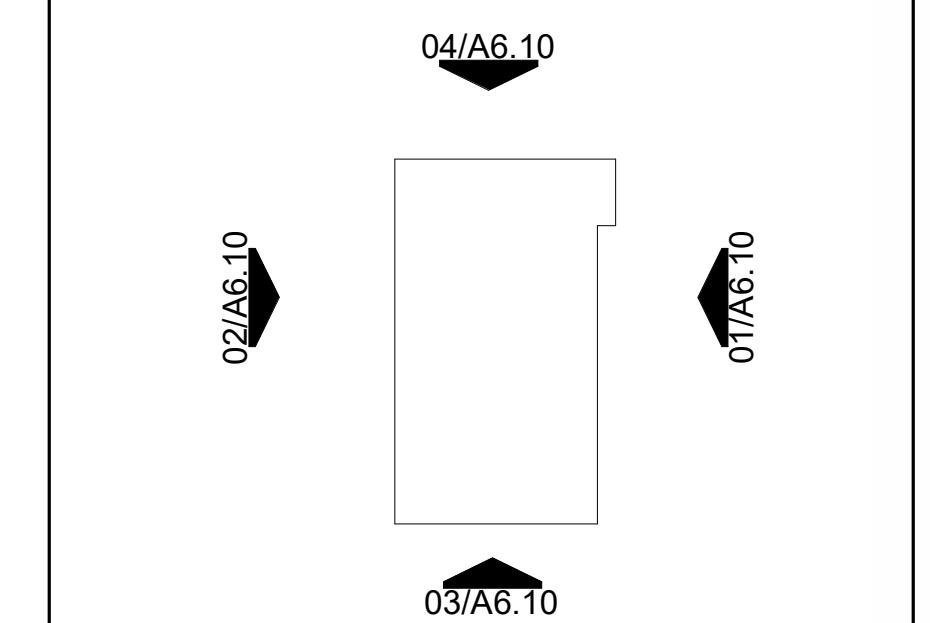
NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
03.01	CONC SOG OVER 15 MIL CLASS A VAPOR BARRIER OVERLAP SEAMS AND SEAL ALL PENETRATIONS PER MANUF INSTAL INSTRUCT. PROV TERMITE PROTECTION. REF TO STRUCT DWGS FOR FURTHER INFO.
03.04	8" THK REINF CONC SLAB AT SELECT LOCATIONS ON ROOF. REF TO STRUCT DWGS FOR FURTHER INFO.
04.03	REINF MASONRY WALLS W/PTD STUCCO PARGE.
05.03	PRE ENGINEERED ALUM CANOPY W/ TIE BACKS, DECORATIVE FASCIA AND INTEGRAL DRAINAGE. PROVIDE SPEC ENG W/ CALCULATIONS.
08.41	IMPACT RESIST. PREFIN STOREFRONT SYS. FIN TO MATCH WINDOWS. PROV PROD APP.
15	MECH EQUIPMENT
15.01	PAD MOUNTED MECH EQUIP UNIT CONDENSERS. PROV MIN CLEARANCE PER MECH DWGS. PROV PROD APP FOR ALL STANDS. REF TO MECH DWGS FOR FURTHER INFO.

**COLOR LEGEND**

	EP 01 - EXTERIOR PAINT SHERWIN WILLIAMS SW 7004 SNOWBOUND EGGSHELL FIN
	EP 03 - EXTERIOR PAINT SHERWIN WILLIAMS SW 7069 IRON ORE EGGSHELL FIN
	EF 01 - EXTERIOR FINISH SPLIT FACE, GROUND FACE OR SMOOTH FACE CMU IN 3 COLORS

**KEY PLAN**



**CLIENT**  
  
 CHABAD PEMBROKE PINES  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL 33029  
 T 954.391.9999

**ARCHITECT**  
  
**DITMAN ARCHITECTURE**  
 1388 W NEWPORT CENTER DRIVE, STE B  
 DEERFIELD BEACH, FL 33442  
 (305) 954-3793 FAX 305-954-0364

**BUILDER**

**CONSULTANT**

**PROJECT TITLE**  
 NEW MIKVEH  
 (RELIGIOUS BATHING)  
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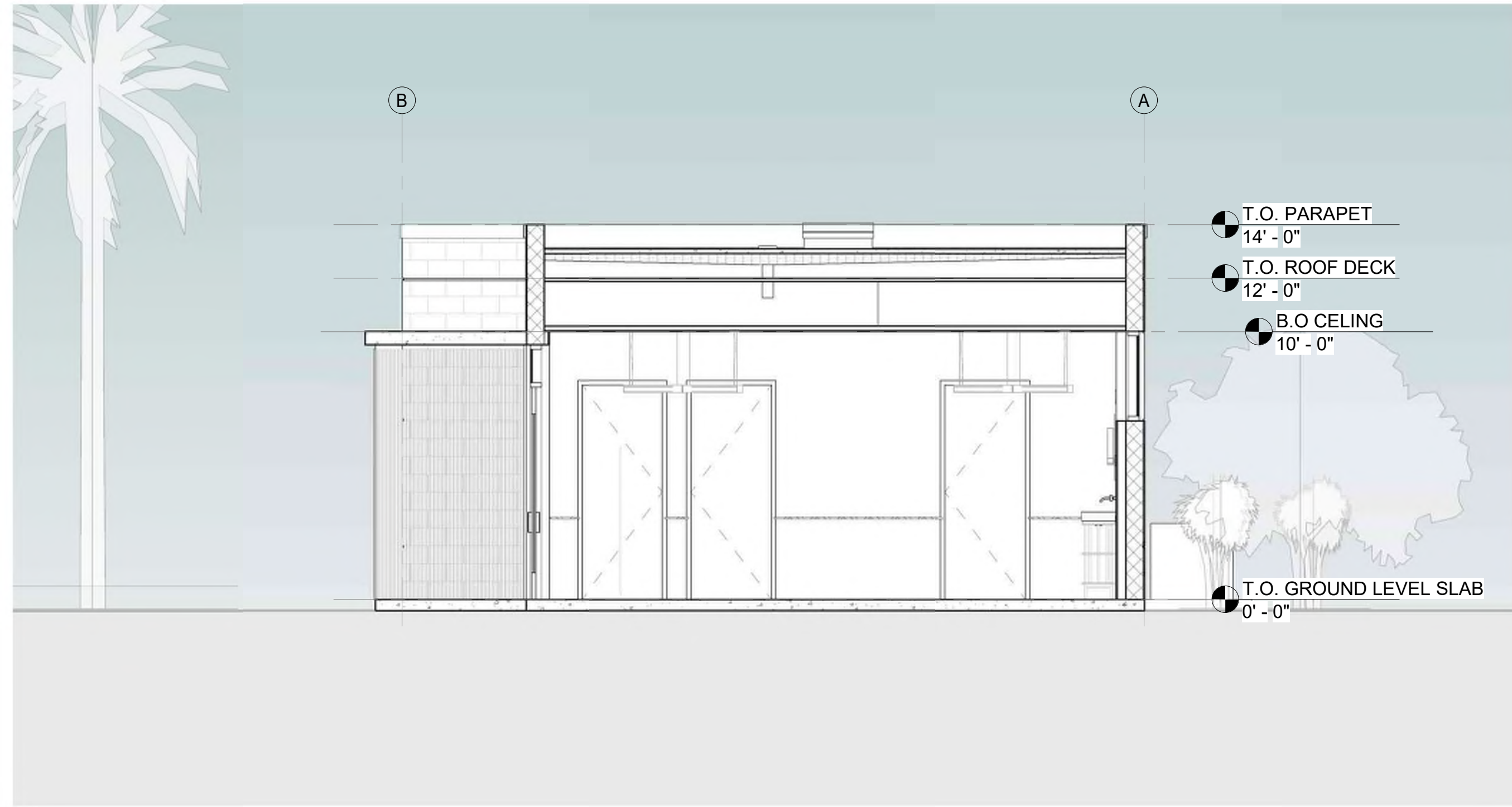
**PROFESSIONAL OF RECORD**  
  
 CRAIG M. DITMAN  
 REGISTERED ARCHITECT

**SUBMITTAL HISTORY**  
 A SITE PLAN PACKAGE 08/14/24

**PROJECT NUMBER**  
 212080

**SHEET NAME**  
 EXTERIOR BUILDING ELEVATIONS

**SHEET NUMBER**  
 A6.10



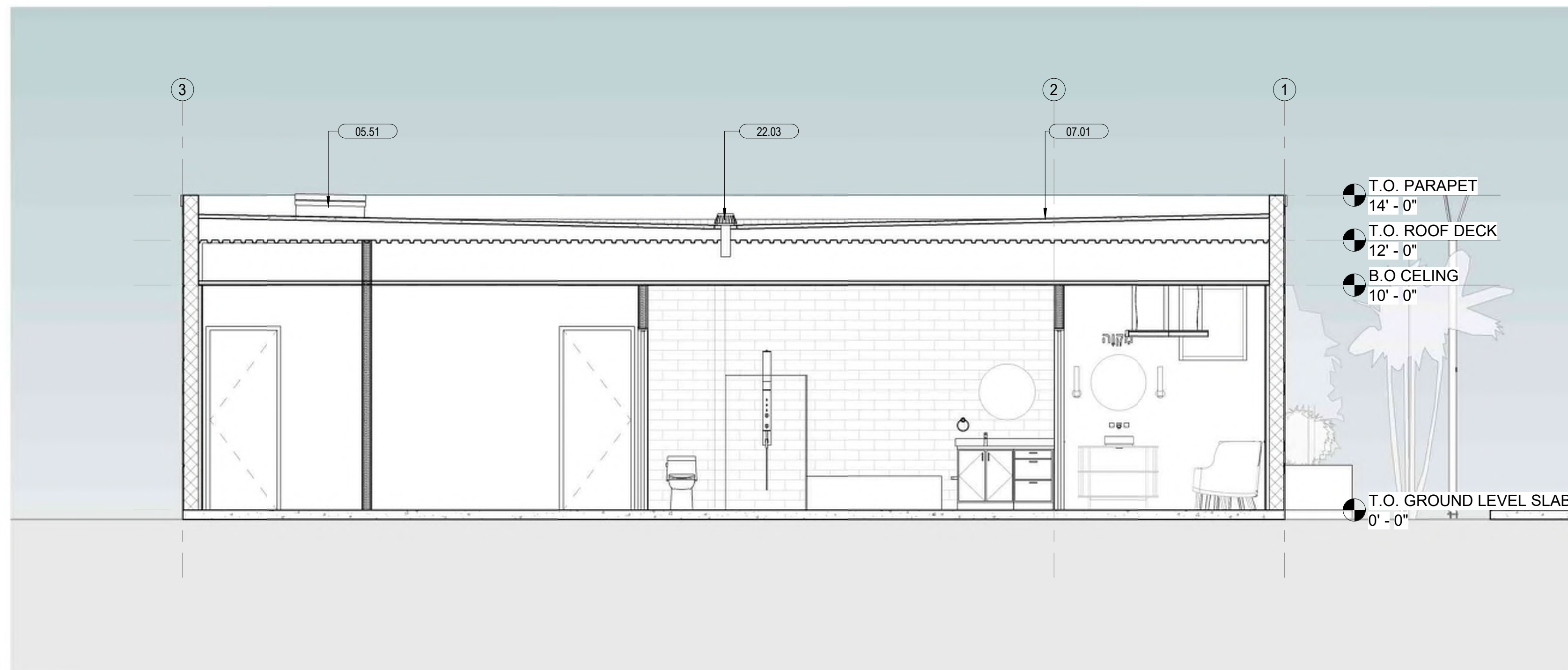
Section 6 1/4" = 1'-0" 06



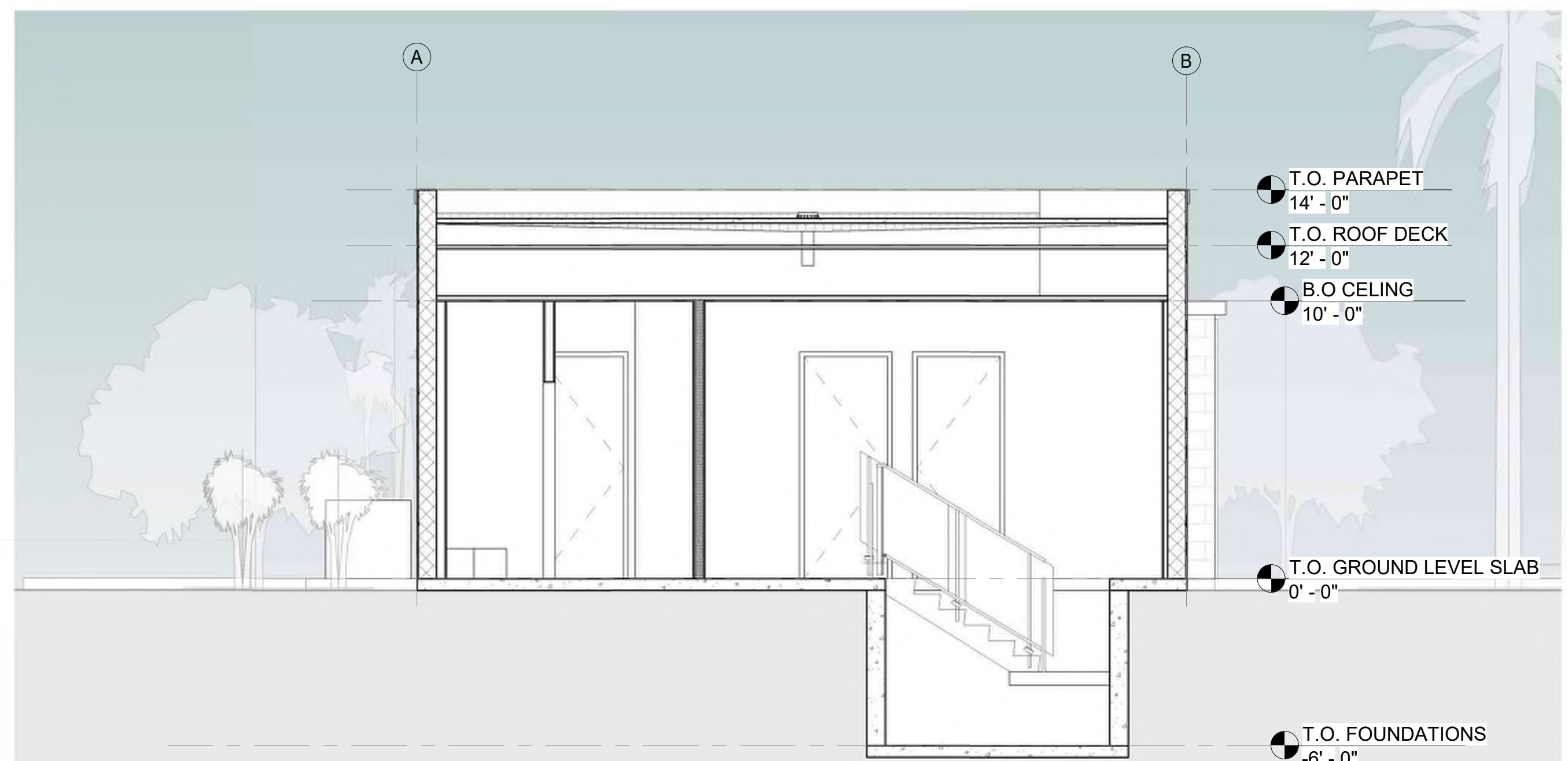
Section 3 1/4" = 1'-0" 03



Section 5 1/4" = 1'-0" 05



Section 2 1/4" = 1'-0" 02



Section 4 1/4" = 1'-0" 04



Section 1 1/4" = 1'-0" 01

GENERAL SECTION NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCY, INACCURACY OR CONFLICTING INFORMATION BEFORE EXECUTION OF WORK.
3. DO NOT SCALE DIMENSIONS FROM DRAWINGS. ANY UNKNOWN DIMENSION SHALL BE OBTAINED FROM DESIGN PROFESSIONALS VIA REQUEST FOR INFORMATION (RFI).
4. CONTRACTOR SHALL FIELD COORD. LOCATION, SIZE AND TYPE OF BLOCKING FOR INSTALL. OF SIGNAGE, PLUMBING FIXTURES, MILLWORK, ETC. ALL CONCEALED WOOD SHALL BE FR.T.
5. ALL SHAFTS PENETRATING SLABS SHALL BE RATED 2HR.
6. ALL ROOF SLOPES SHALL BE 1/4" PER FOOT (MIN) UNO.

GRAPHICS LEGEND

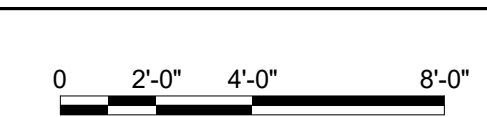
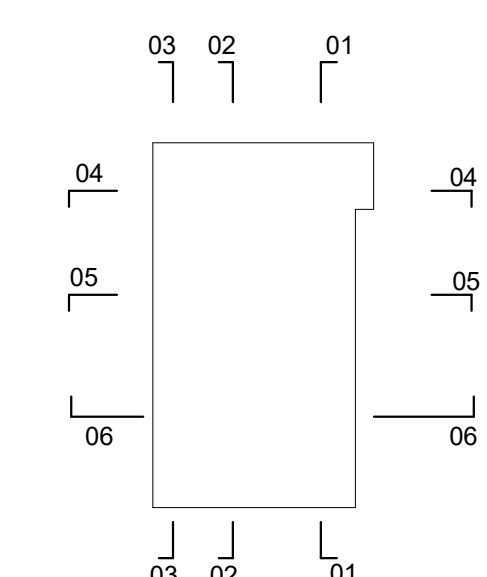
INDICATES 1/4" PER FOOT (MIN) SLOPE TO DRAIN AT ROOF OR FINISHED GRADE SLOPED PER CIVIL DRAWINGS

KEYNOTE LEGEND

NOTE: KEYNOTE NUMBERING IS FOR ORGANIZATIONAL PURPOSES ONLY AND NOT INTENDED TO REFERENCE A SPECIFIC CSI DIVISION

No.	DESCRIPTION
05.51	FIXED PTD STEEL ROOF ACCESS. PROVIDE ENG SHOP DRAWINGS
07.01	FULLY ADHERED WHITE TPO ROOF SYS W/ 60 ML MEMBRANE (CARLISLE SYNTAC SURE-WELD FLEECE BACK SINGLE PLY TPO OR APP EQ) OVER LWIC W/ EPS BOARD TO ACHIEVE MINIMUM R-19 AT LOWEST POINT OF ROOF. INSTALL IN ACCORD W/ RFD APP. RUN MEMBRANE UP ENTIRE PARAPET AND UNDER CAP FLASHING.
22.03	ROOF DRAIN AND RWL ROUTED TO STORM WATER MANAGEMENT SYS. REF TO PLUMB DWGS FOR SIZE, RWL ROUTING, AND TERMIN. WRAP ALL RWL WITH ACOUSTIC PIPE LAGGING, MINIMUM OF 18" FT FULL LENGTH OF PIPE AT ALL LOCATIONS WITHIN UNITS OR COMMON AREA SPACES.

KEY PLAN



CLIENT  
**CHABAD**  
 PEMBROKE PINES  
 CHABAD PEMBROKE PINES  
 18490 JOHNSON ST.  
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 T 954.391.9999

ARCHITECT  
**DA**  
**DITMAN**  
 ARCHITECTURE  
 1358 W NEWPORT CENTER DRIVE, STE B  
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 (305) 954-3793, 2015 AA5003648

BUILDER

CONSULTANT

PROJECT TITLE  
 NEW MIKVE'EH  
 (RELIGIOUS BATHING)  
 CHABAD OF  
 PEMBROKE PINES

PROJECT LOCATION  
 18490 JOHNSON ST,  
 PEMBROKE PINES, FL  
 33029

PROFESSIONAL OF RECORD  
  
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SUBMITTAL HISTORY  
 A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
**212080**

SHEET NAME  
 BUILDING SECTIONS

SHEET NUMBER  
**A7.10**



CLIENT  
**CHABAD**  
 PEMBROKE PINES  
 CHABAD PEMBROKE PINES  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL 33029  
 T 954.391.9999

ARCHITECT  
**DA**  
**DITMAN**  
 ARCHITECTURE  
 1388 W NEWPORT CENTER DRIVE, STE B  
 DEERFIELD BEACH, FL 33442  
 (305) 954-3793 FAX 305-954-0036

BUILDER

CONSULTANT

PROJECT TITLE  
 NEW MIKVEH  
 (RELIGIOUS BATHING)  
 CHABAD OF  
 PEMBROKE PINES

PROJECT LOCATION  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL  
 33029

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SUBMITTAL HISTORY  
 A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
 212080

SHEET NAME  
 BUILDING  
 PERSPECTIVE

SHEET NUMBER  
**A9.10**

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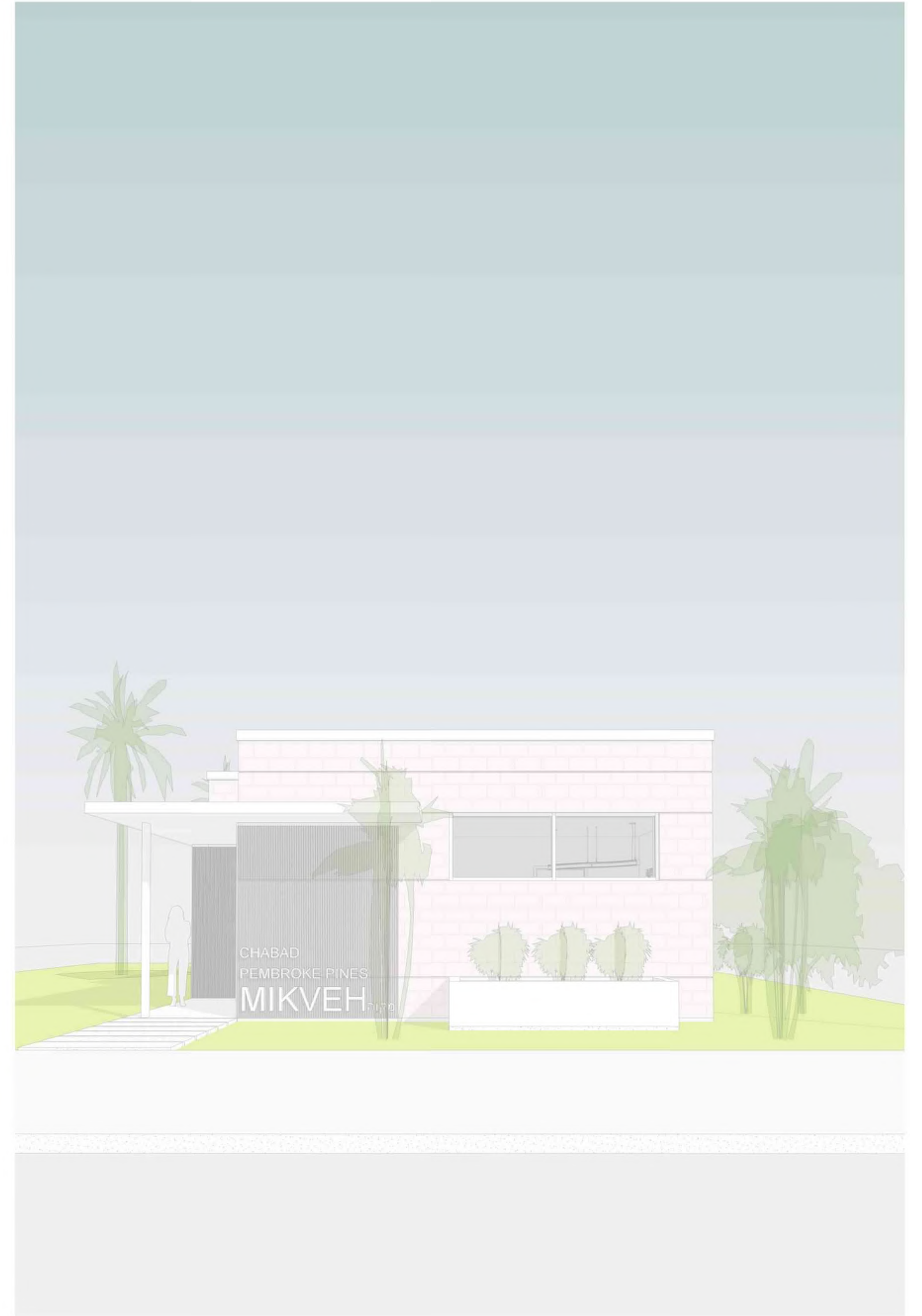
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SIDE ENTRANCE PERSPECTIVE 03



CORNER ENTRANCE PERSPECTIVE 02



FRONT VIEW PERSPECTIVE 01

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.391.9999

ARCHITECT  
**DA**  
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BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

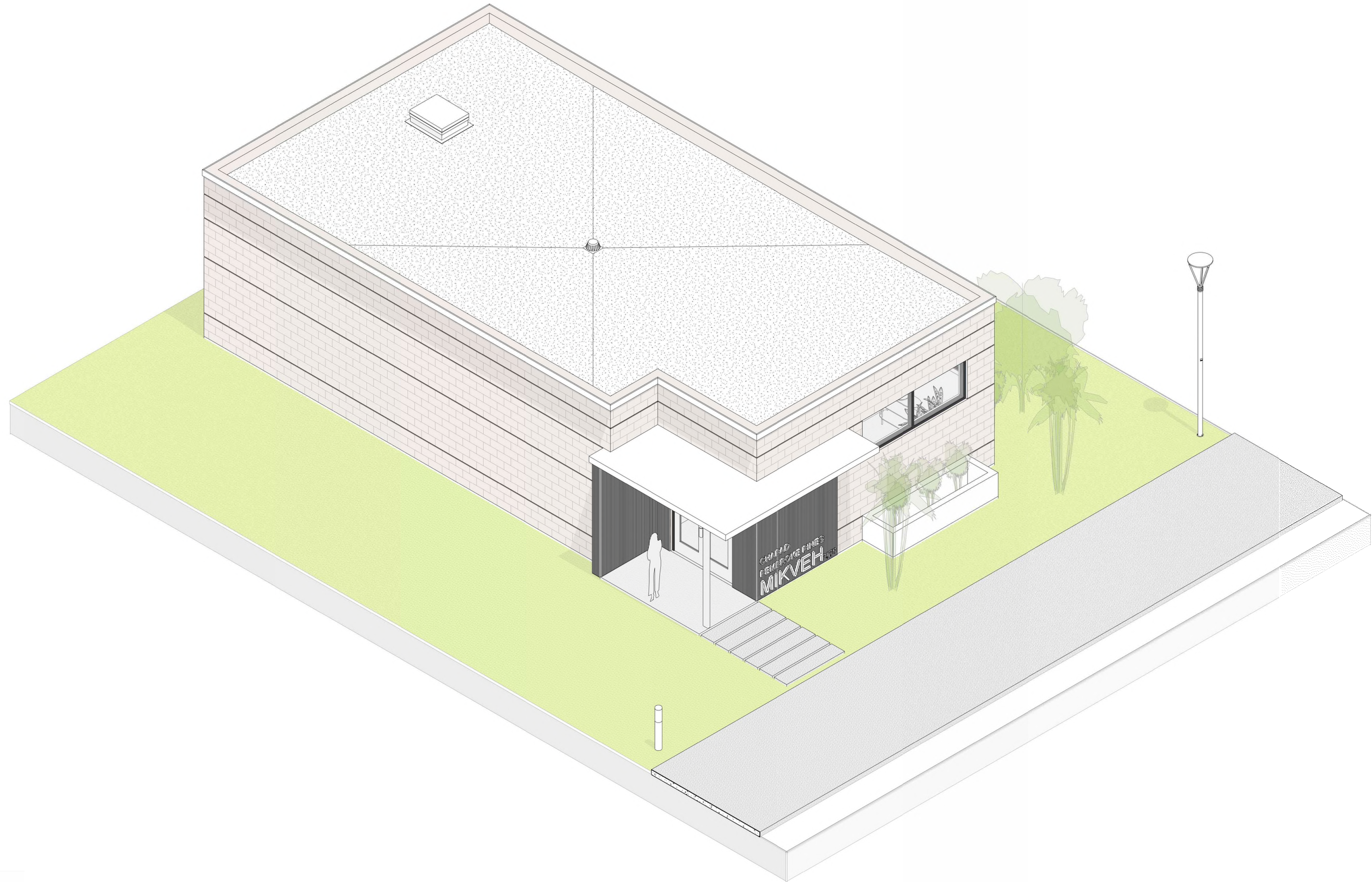
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A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
212080

SHEET NAME  
EXTERIOR  
PERSPECTIVES

SHEET NUMBER  
A9.11



CLIENT  
**CHABAD**  
 PEMBROKE PINES  
**CHABAD PEMBROKE PINES**  
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BUILDER

CONSULTANT

PROJECT TITLE  
 NEW MIKVEH  
 (RELIGIOUS BATHING)  
 CHABAD OF  
 PEMBROKE PINES

PROJECT LOCATION  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL  
 33029

PROFESSIONAL OF RECORD  
 STATE OF FLORIDA  
 CRAIG M. DITMAN  
 AR99197  
 04/23/24  
 REGISTERED ARCHITECT  
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 A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
 212080

SHEET NAME  
 AXONOMETRIC  
 AERIAL VIEW

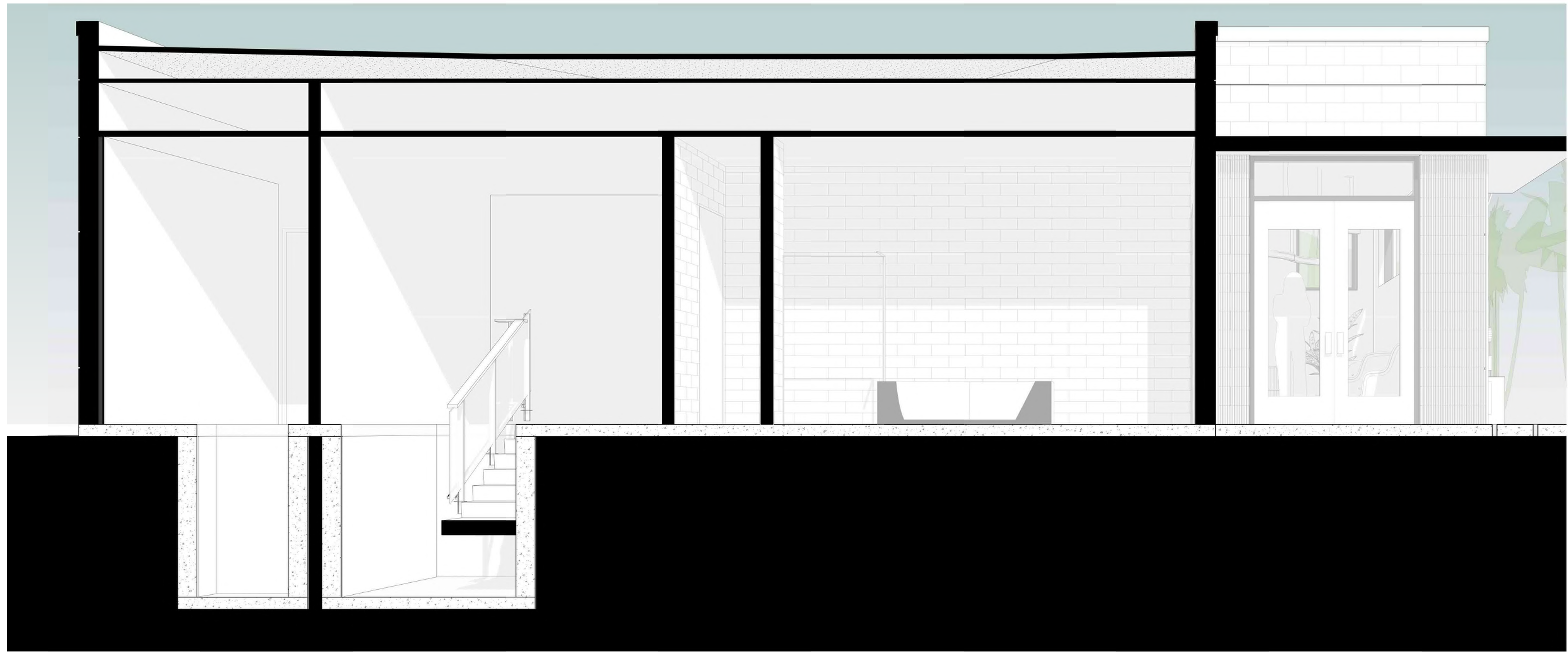
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SECTION PERSPECTIVE B 02



SECTION PERSPECTIVE A 01

CLIENT  
**CHABAD**  
 PEMBROKE PINES  
 CHABAD PEMBROKE PINES  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL 33029  
 T 954.381.9999

ARCHITECT  
**DA**  
**DITMAN**  
 ARCHITECTURE  
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BUILDER

CONSULTANT

PROJECT TITLE  
 NEW MIKVEH  
 (RELIGIOUS BATHING)  
 CHABAD OF  
 PEMBROKE PINES

PROJECT LOCATION  
 18490 JOHNSON ST.  
 PEMBROKE PINES, FL  
 33029

PROFESSIONAL OF RECORD  
 STATE OF FLORIDA  
 CRAIG M. DITMAN  
 AR99187  
 04/23/24  
 REGISTERED ARCHITECT

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SUBMITTAL HISTORY  
 A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
 212080

SHEET NAME  
 SECTION  
 PERSPECTIVES

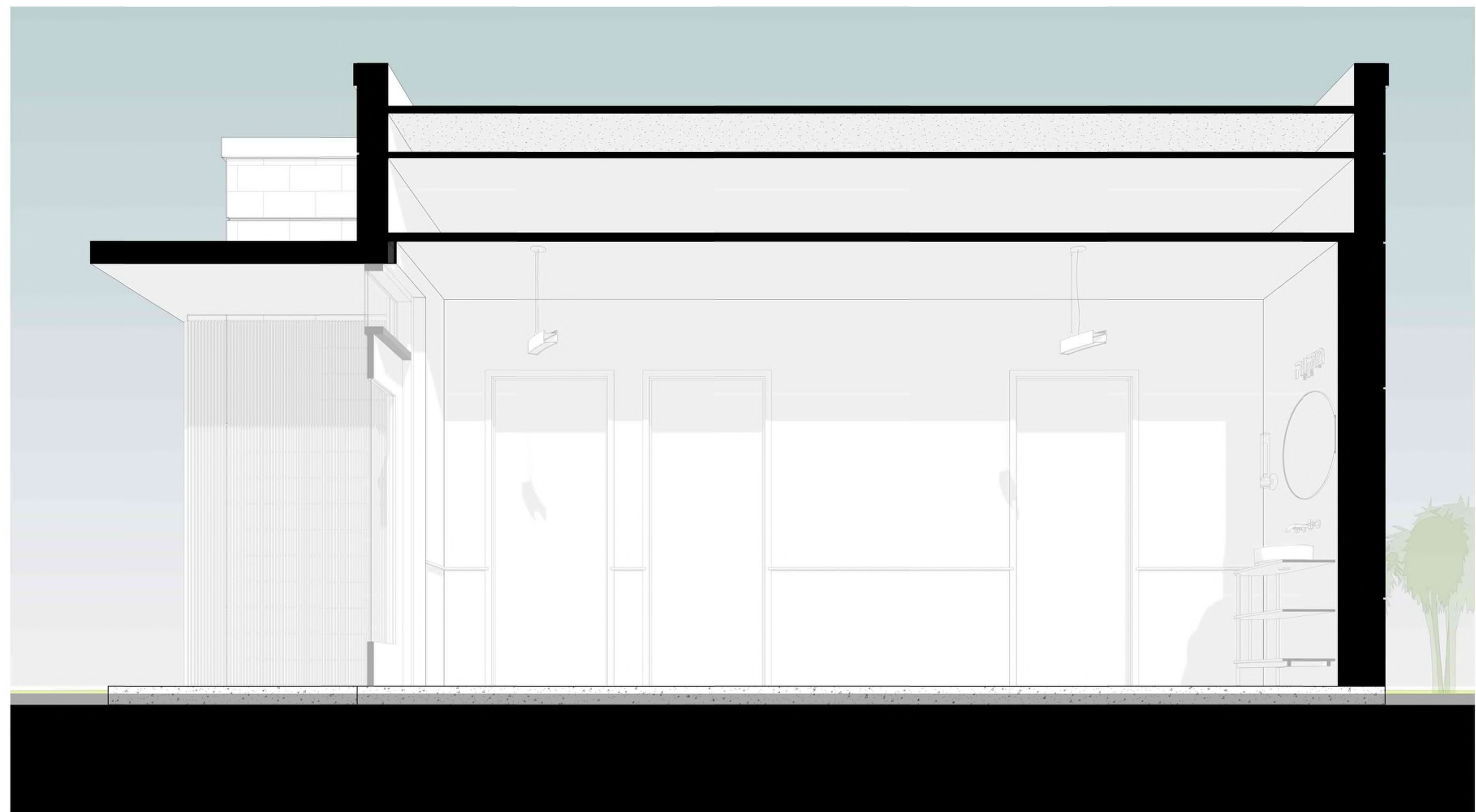
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SECTION PERSPECTIVE D 02



SECTION PERSPECTIVE C 01

CLIENT  
**CHABAD**  
PEMBROKE PINES  
CHABAD PEMBROKE PINES  
18490 JOHNSON ST.  
PEMBROKE PINES, FL 33029  
T 954.381.9999

ARCHITECT  
**DA**  
**DITMAN**  
ARCHITECTURE  
1388 W NEWPORT CENTER DRIVE, STE B  
DEERFIELD BEACH, FL 33441  
(305) 954-3793 FAX 305-954-0036

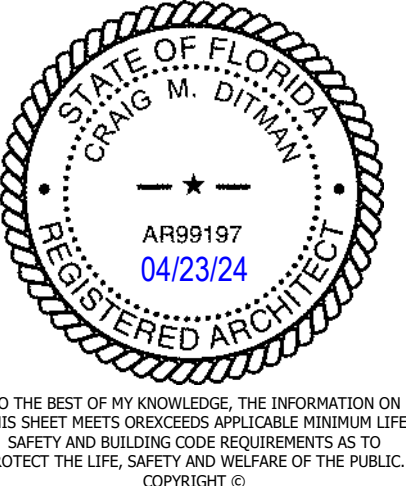
BUILDER

CONSULTANT

PROJECT TITLE  
NEW MIKVEH  
(RELIGIOUS BATHING)  
CHABAD OF  
PEMBROKE PINES

PROJECT LOCATION  
18490 JOHNSON ST.  
PEMBROKE PINES, FL  
33029

PROFESSIONAL OF RECORD



SUBMITTAL HISTORY  
A SITE PLAN PACKAGE 08/14/24

PROJECT NUMBER  
212080

SHEET NAME  
SECTION  
PERSPECTIVES

SHEET NUMBER  
A9.14